

85 01841

COUNCILMEMBER GILDA FELLER

Civic Center Building

2180 Milvia Street

Berkeley, Calif. 94704

RENTAL HOUSING CONSTRUCTION PROGRAM

City of Berkeley, California

OUTLINE SPECIFICATIONS

PRELIMINARY COST ESTIMATE

January 1982



2972 ADELIN STREET  
BERKELEY CA. 94703  
TEL. (415) 845-7455





DIVISION 1 GENERAL REQUIREMENTS

01000 General Conditions

01300 Temporary Utilities

1. Temporary water and electrical hook-ups during construction
2. Portable toilet facilities placed at approved locations
3. Completely remove temporary facilities upon completion of work.

01700 Project Closeout

1. Project Record Drawings
2. Substantial Completion and Final Inspection
3. Closeout Submittals
4. Post Construciton Inspection ( on or before one year from date of Final Acceptance)

DIVISION 2 SITE WORK

02110 Clearing and Grubbing

1. Clearing of vegetation, stumps, roots, debris and miscellaneous incidentals
2. Off-site disposal of all excess material

02221 Earthwork

1. Excavating and backfilling including site preparation, trenching and backfilling for the installation of pipes and conduits, rough grading of all areas disturbed by construction, hauling and stockpiling surplus excavated material and topsoil
2. Slabs: excavate minimum of 6" below underside of slab and backfill with granular fill
3. Drain tile at footing and location of downspouts. Rough grade to drain away from structure

02610 Asphaltic Concrete Pavement

1. Install at parking areas 2" AC over 4" granular fill

02660 Curbs and Gutters

1. Install curb cuts - 20 linear feet per site

02670 Sidewalks and Concrete Finishes

1. 4" concrete at pedestrian walks, patio areas and street sidewalk



- 02700     Fencing and Landscaping
1. Install wood fence 4' high
  2. Planting to be low maintenance shrubs, groundcover and trees
  3. Irrigation provided from hose bibb at building

DIVISION 3   CONCRETE

03300     Concrete

1. Minimum Compressive Strength:  
Building slabs and footings: 3,000 psi at 28 days  
Concrete walks                                 : 2,500 psi at 28 days
2. Slab on grade: 4" concrete with wire mesh reinforcing (6"x6"x#9); 2" sand, 5 mil polyethelene vapor barrier; 4" granular fill
3. Footings: continuous concrete footings at bearing walls and building perimeters; 15" wide x 8" deep with two #4 reinforcing bars; top of footing 2'-0" below grade
4. Finish: wood float finish at all exposed surfaces and building slabs.

DIVISION 4 MASONRY

NOT USED

DIVISION 5 METALS

NOT USED

DIVISION 6 CARPENTRY

06100     Rough Carpentry

1. Framing Lumber: Douglas Fir (DF)
2. Sill Plates : Redwood or pressure treated DF
3. Walls: 2 x 4 at 24" O.C.  
Floors: Bar Joist; 22' max. span at 24" O.C. with 3/4" plywood subfloor  
Roof : Pre-fabricated wood trusses at 24" O.C.; single span with 3/8" pluwood sheathing

06200     Finish Carpentry

1. Exterior Siding: 1/2" hardboard lap siding
2. Exterior Trim : Redwood
3. Interior Trim : Douglas Fir
4. Shelving : Particle board

## DIVISION 7 THERMAL AND MOISTURE PROTECTION

### 07200 Thermal and Sound Insulation

1. Roof: R-19 Blown Fiberglass - 6"
2. Exterior Walls: R-11 Fiberglass Batt - 3½"
3. Soffits at second floor: R-19 Fiberglass Batts - 6"
4. Weatherstrip at all exterior doors and windows
5. Party Walls: 52 STC rating  
2 x 4 studs at 24" O.C. with resilient furring channels at 24" O.C. on one side;  
3½" Fiberglass Batt Insulation; 5/8" Gypsum Wallboard each side - attach with 1" Type S screws at channels and nailed at studs;  
perimeter caulking

### 07311 Asphalt Shingles

1. Asphalt Shingles: Square tab butt strip shingles; ASTM D-225 Type 1 Class C self sealing; 240# per square; 20 year material guarantee; 10 year workmanship guarantee
2. Nails: 10 gage galvanized steel screw threaded shank

### 07600 Sheet Metal

1. Gutters: Prefabricated galvanized iron 4" OG, STD
2. Downspouts: Prefabricated galvanized iron 2 x 3 STD
3. Flashing : Galvanized iron 26 gage at ridges and perimeters

### 07900 Caulking and Sealants

1. Install at perimeter of all exterior doors, windows and vent openings
2. Silicone rubber or Polysulfide or Butyl based composition

## DIVISION 8 DOORS, WINDOWS AND GLASS

### 08200 Doors

1. Exterior doors: 1-3/4" solid core masonite, 3'-0" x 6'-8"  
Interior doors: 1-3/8" hollow core masonite, 6'-8" high
2. Door frames: Solid stock Douglas Fir
3. Venners: Paint grade hardwood

### 08520 Aluminum Windows and Sliding Glass Doors

1. Sliding aluminum windows - anodized bronze - double glazed
2. Sliding glass doors - anodized bronze - double glazed

### 08710 Finish Hardware

1. Exterior Door: 1½ pair butt hinges  
1 cylindrical lockset - 5 pin  
1 threshold  
1 door stop



2. Interior doors: 1½ pair butt hinges  
1 lockset with no lock  
1 door stop

## DIVISION 9 FINISHES

### 09250 Gypsum Wallboard

1. Walls: ½"; 8' panels  
Party Walls: 5/8"; 8' panels  
Bathroom walls: 5/8" water resistant; 8' panels  
Ceilings : 5/8"; 8' panels
2. Tape and compound at all joints and edges

### 09650 Resilient Flooring

1. Vinyl Asbestos Tile at kitchen, dining, living and bathroom areas; 1/16" standard

### 09900 Painting

1. Exterior  
Siding : Factory primed; 1 coat latex enamel  
Trim : 1 prime coat; 1 finish coat latex enamel  
Doors : Factory primed; 1 coat latex enamel
2. Interior  
Walls and Ceilings : 1 prime coat, 1 finish coat latex  
flat; egg shell finish  
Bathrooms and Kitchens: 1 prime coat, 1 finish coat latex  
enamel semi-gloss  
Cabinets : Pre-finished

### 09910 Laminated Plastics

1. Countertops at kitchen and bathroom

## DIVISION 10 SPECIALTIES

### 10500 Building Specialties

1. Kitchen appliances:  
Refrigerator: Hot Point CTF17EB Frost Free  
Cooktop and Oven : Gas operated Tappan 31-1268-10 Pilotless  
Hood: 30" Broan 4200 Medallion; 190 CFM with 7" round duct
2. Skylights  
2'-0" x 6'-0" double dome with anodized aluminum frame;  
total 6

## DIVISION 11 EQUIPMENT

NOT USED

DIVISION 12 FURNISHINGS

- 12400 Carpets  
Carpeting at all bedrooms, stairs and halls; 20 oz. nylon with pad
- 12500 Draperies and Curtains

DIVISION 13 SPECIAL CONSTRUCTION

NOT USED

DIVISION 14 CONVEYING SYSTEMS

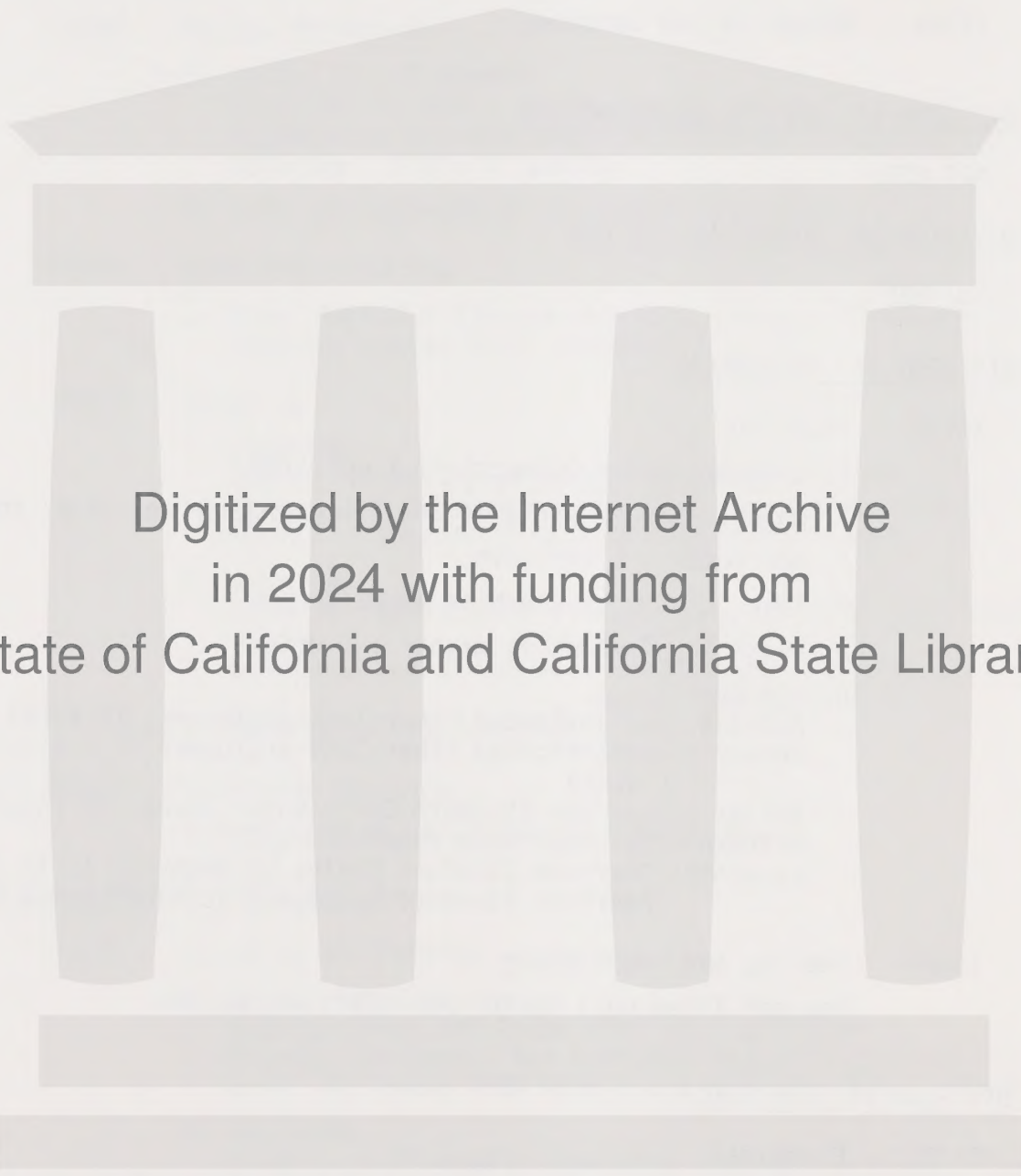
NOT USED

DIVISION 15 MECHANICAL

- 15400 Plumbing
1. Sanitary Sewer Connection: 1 per site
  2. Water meter: 1 per unit and 1 house meter per site; total 19
  3. Gas meter : 1 per unit
  4. Type 'L' copper plumbing above ground
  5. Rough-in plumbing at washer and drier
  6. Fixtures
    - Bathtub: prefabricated fiberglass enclosure; 14 total
    - Shower : prefabricated fiberglass enclosure 3' x 3' x6' high; 6 total
    - Toilet : American Standard Cadet water saver; 20 total
    - Kitchen sink: Stainless steel 22" x 25"
    - Lavatory: American Standard Ovalyn at Bathroom 1; 14 total
    - American Standard Ledgewood at handicapped Bath; 6 total
- 15800 Heating and Ventilating
- One gas fired wall heater per unit; 35,000 Btu

DIVISION 16 ELECTRICAL

- 16400 Eletrical
1. Metering: 1 per unit and 1 house meter per site; total 19
  2. Service: 100 Amp 120/240 single phase with circuit breakers; overhead service
  3. Duplex receptacles: 15A, 125V-3W GRD; provide groundfault interrupter with cover receptacle outdoors
  4. Switches
  5. Light Fixtures



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# BERKELEY RENTAL HOUSING CONSTRUCTION PROGRAM

Preliminary Cost Estimates - for five (5) sites

Site Work	\$22,300
Conc.	30,000
Misc. Metals	2,000
Rough Carpentry	213,000
Finish Carpentry	52,000
Roofing	14,500
Insulation	10,330
Gutters/Flashing	6,000
Doors/Windows	24,000
Finish Hardware	7,000
Gypsum Wallboard	28,000
Flooring (V.A.T.)	5,800
Carpeting	6,500
Painting	34,000
Kitchen Appliance	13,400
Drapery	7,000
Plumbing	57,700
Water meters	15,200
Electric	54,200
Heating	64,000

Tempory Facilities 5,000

Sub Total	\$672,640 *
10% contingency	67,264
	<u>\$739,904 *</u>

Profit (10%) 73,990

Bonding (1%) 7,399

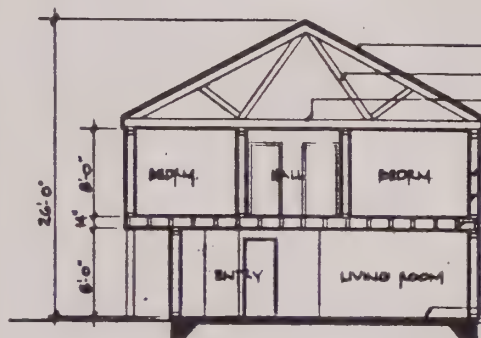
Grand Total \$821,293 \* Construction Cost







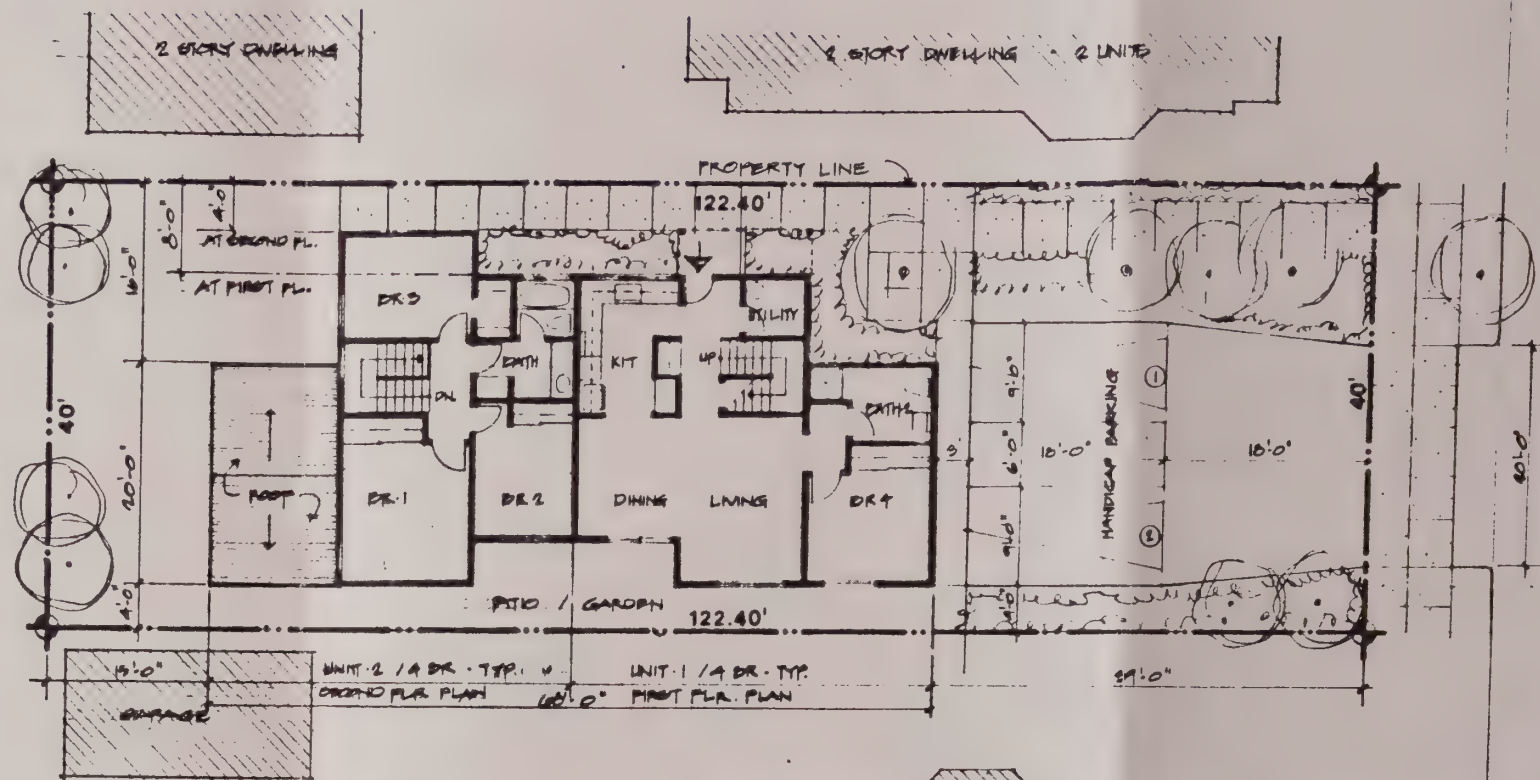




ASPHALT SHINGLES ON 3/8" FLYWHEEL  
 92" LONG PINK TRUSSES @ 24" O.C.  
 R-19 CEILING INSULATION  
 1/2" NAPOLEON BOARD  
 2x4's @ 24" O.C. w/ R-11 INSULATION  
 9/8" GYPHUM BOARD  
 2x FLOOR TRUSSES @ 24" O.C.

1" CONCRETE SLAB

BUILDING SECTION 1/8" = 1'-0"



SITE PLAN

8 4 0 8 16 24 ft.  
 scale 1/8" = 1'-0" north

3016 HARPER



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

REVISIONS

2077 ADELPHI STREET, BERKELEY, CA 94704  
 415.841.1111



City of Berkeley

Rental  
 Housing  
 Construction  
 Program

0104  
 1/8" = 1'-0"  
 12-28-01

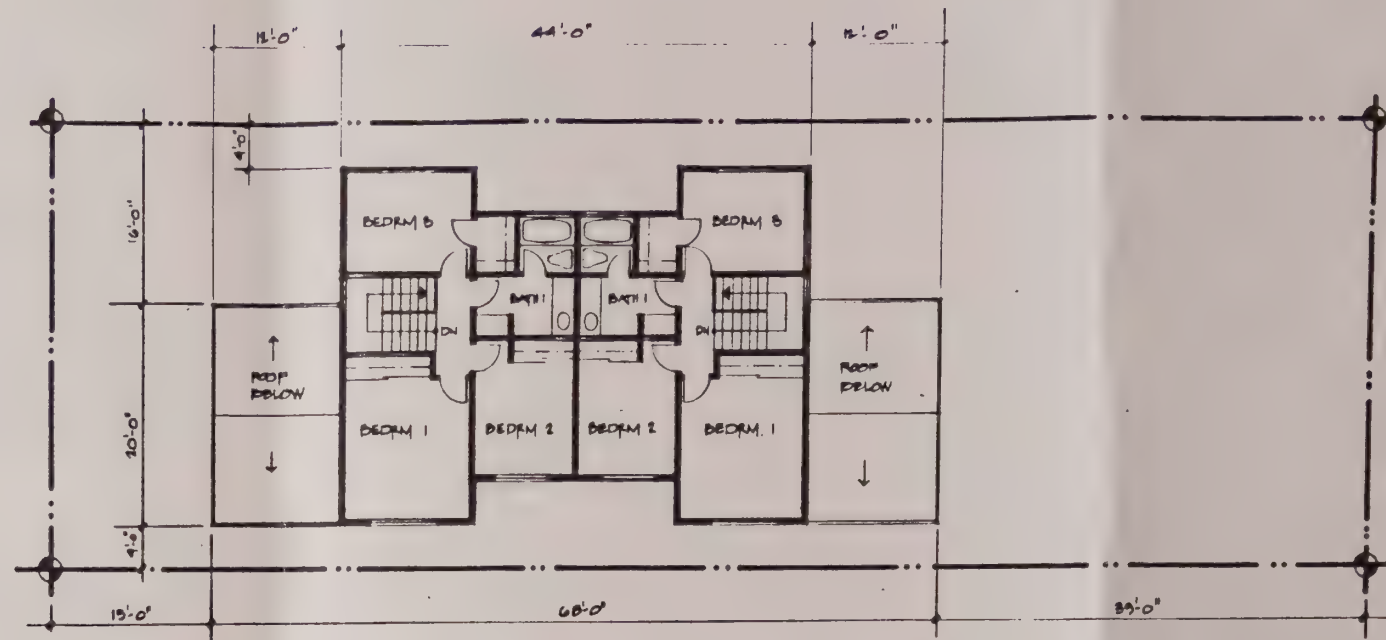
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# SECOND FLOOR PLANS

0 4 8 16 24 ft.  
scale 1/8" = 1'-0"



3016 HARPER

REVISIONS  
HARRY K. LIM - ARCHITECT & ASSOCIATES  
2972 ADRIAN STREET, BERKELEY, CA 94703 (415) 845-7455



City of Berkeley

Rental Housing Construction Program

Job	2134
Scale	1/8" = 1'-0"
Date	1-6-82
Sheet	3
Of	1 Sheet







FIRST FLOOR PLAN - 4 BR UNIT - TYP.

SCALE: 1/4" = 1'-0"

UNIT - #2. UNIT - #1 OPP. HAND  
GROSS AREA: 1375 S.F./UNIT



SECOND FLOOR PLAN - TYP.

NO.	0134
DATE	1/4/10
BY	1-6-01
REV.	4
NO.	4

3016 HARPER

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City of Berkeley

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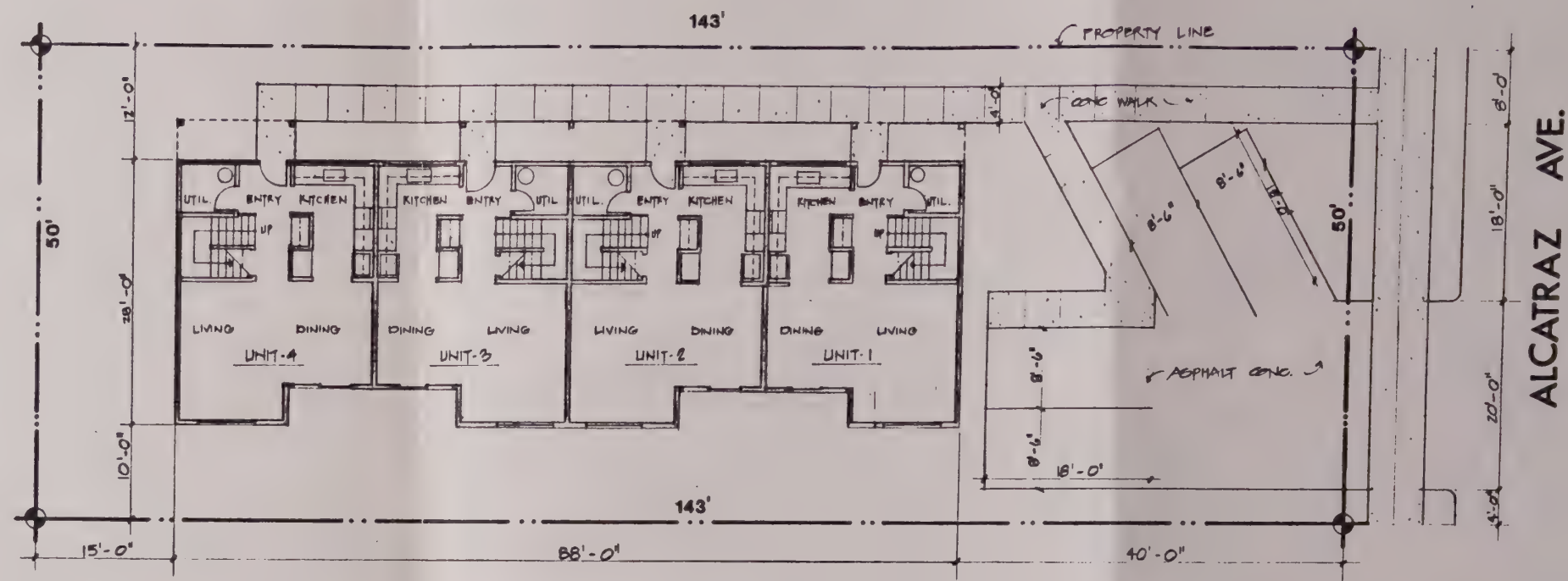






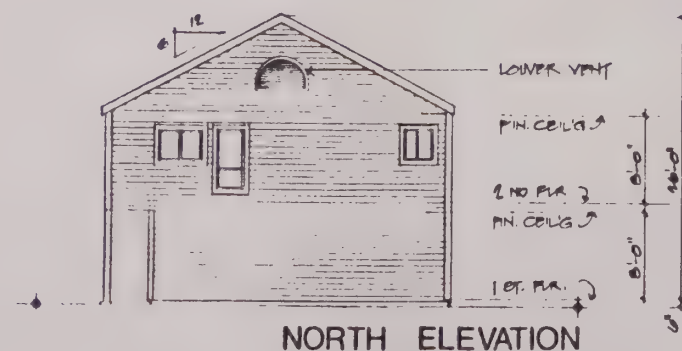
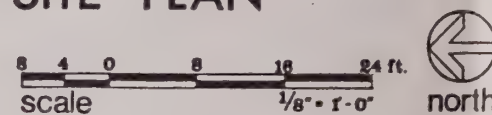




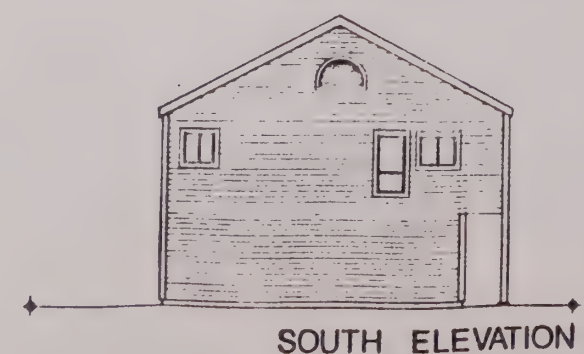


# FIRST FLOOR PLANS SITE PLAN

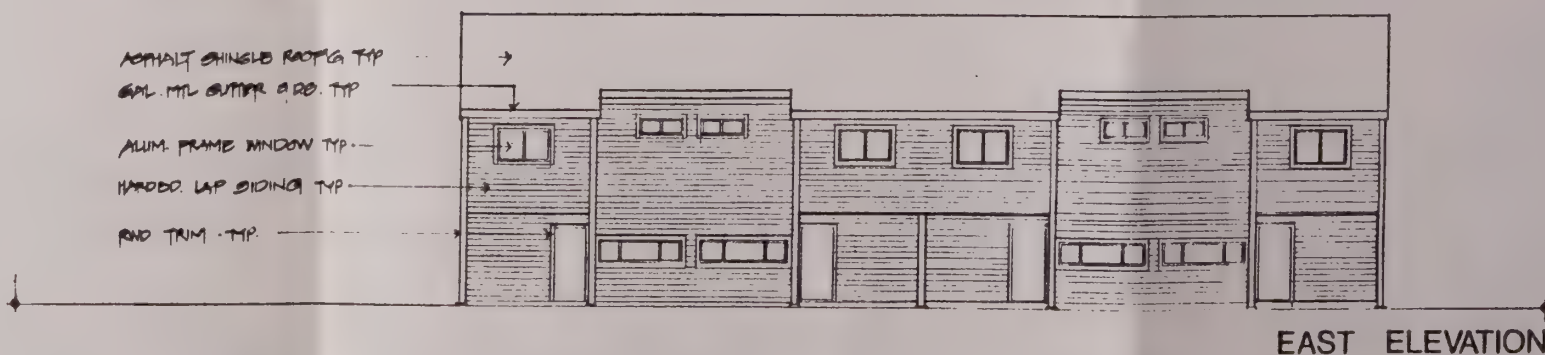
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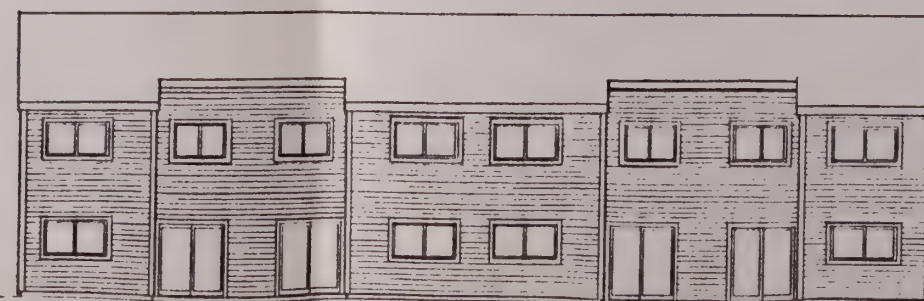
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

REVISIONS	
<p>HARRY K. LIM - ARCHITECT &amp; ASSOCIATES 2972 ADRIAN STREET, MENLO PARK, CA 94025 (415) 845-7455</p>	
<p>City of Berkeley Rental Housing Construction Program</p>	
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Drawn	
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Sheet	2
of 4	Sheets

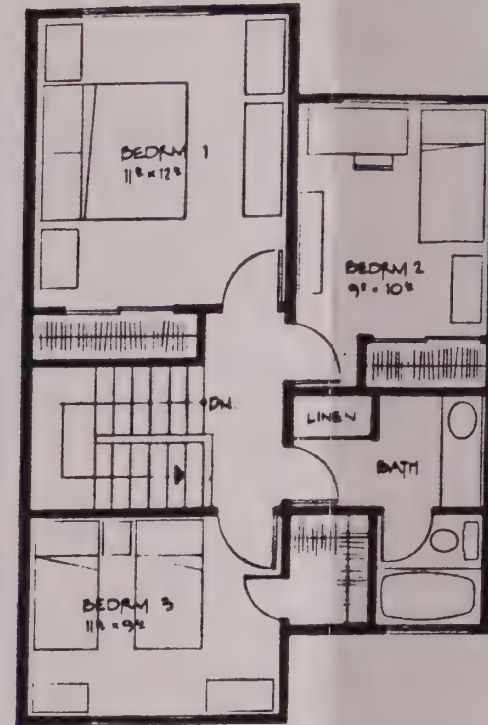












SECOND FLOOR PLAN - TYP.



FIRST FLOOR PLAN - 3 BR UNIT - TYP.

SCALE: 1/4" = 1'-0"

UNIT # 294  
UNIT # 195 OFF. HAND  
GROSS AREA: 1150 S.F./UNIT

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City of Berkeley

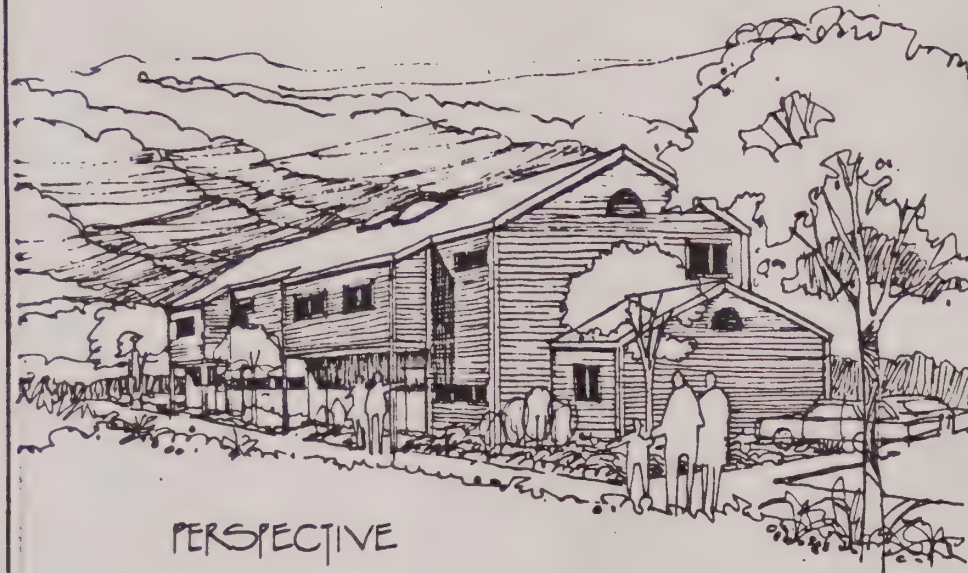
Rental Housing Construction Program

1519 ALCATRAZ

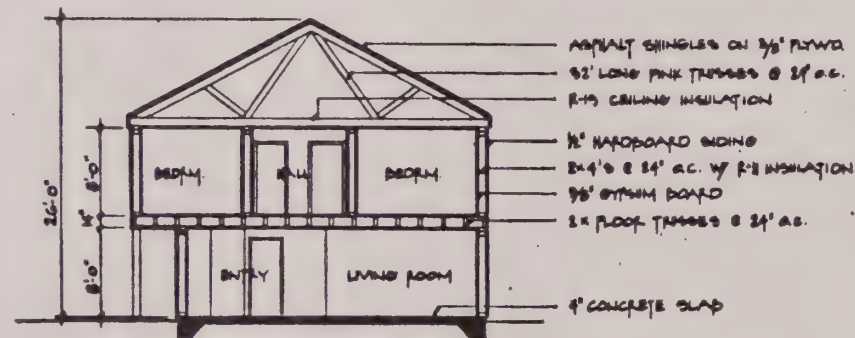
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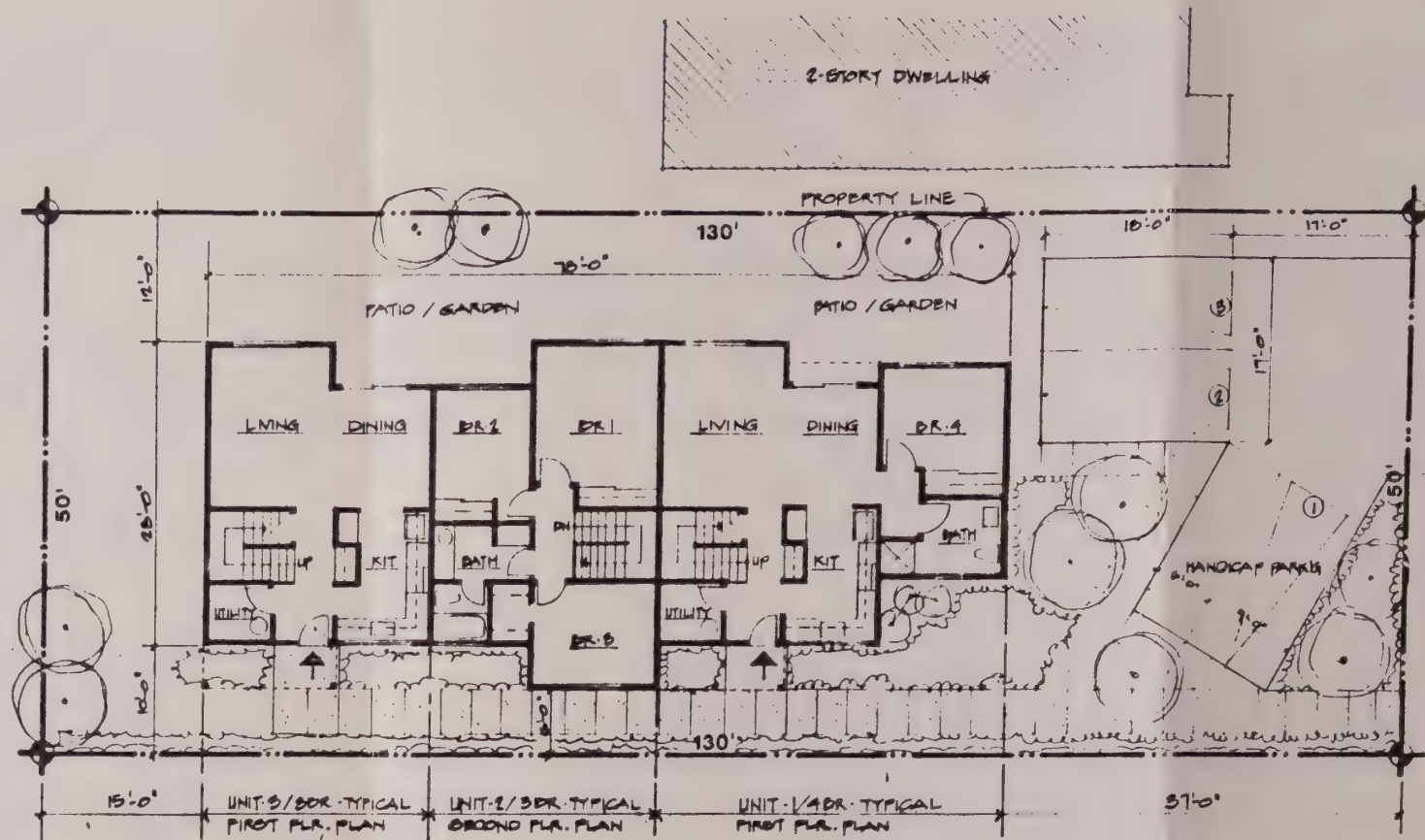




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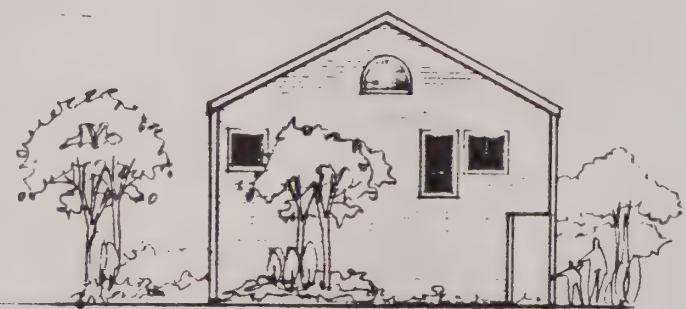
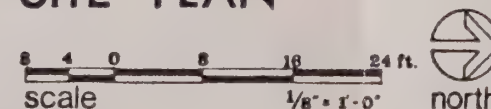


BUILDING SECTION  $\frac{1}{8}" = 1'-0"$

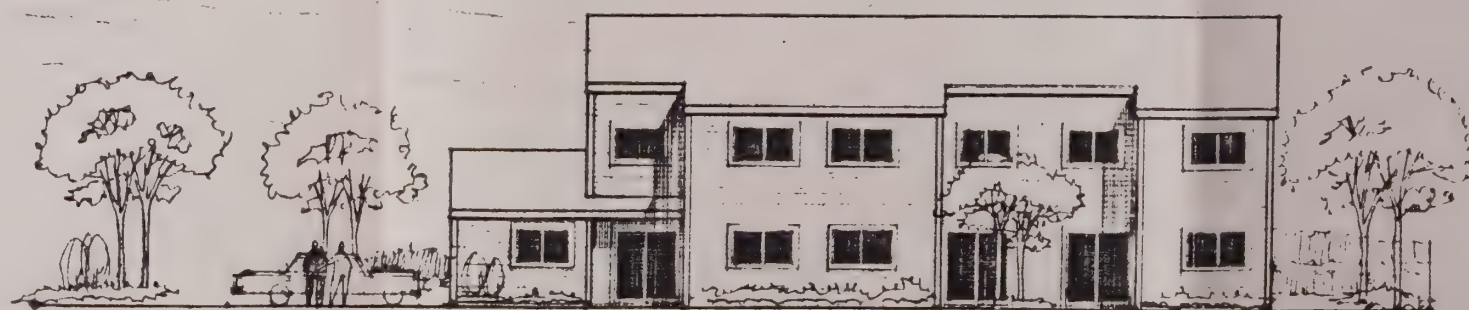


SITE PLAN

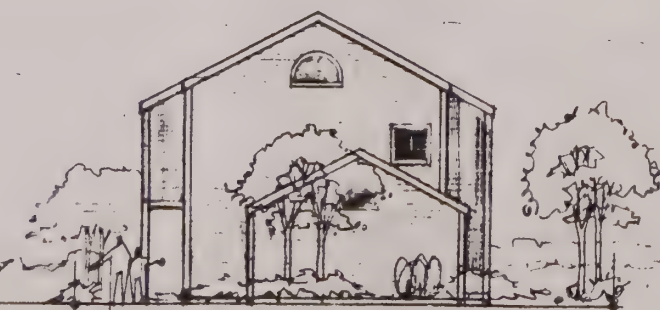
1812 FAIRVIEW



SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

REVISIONS



City of Berkeley

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construction  
program

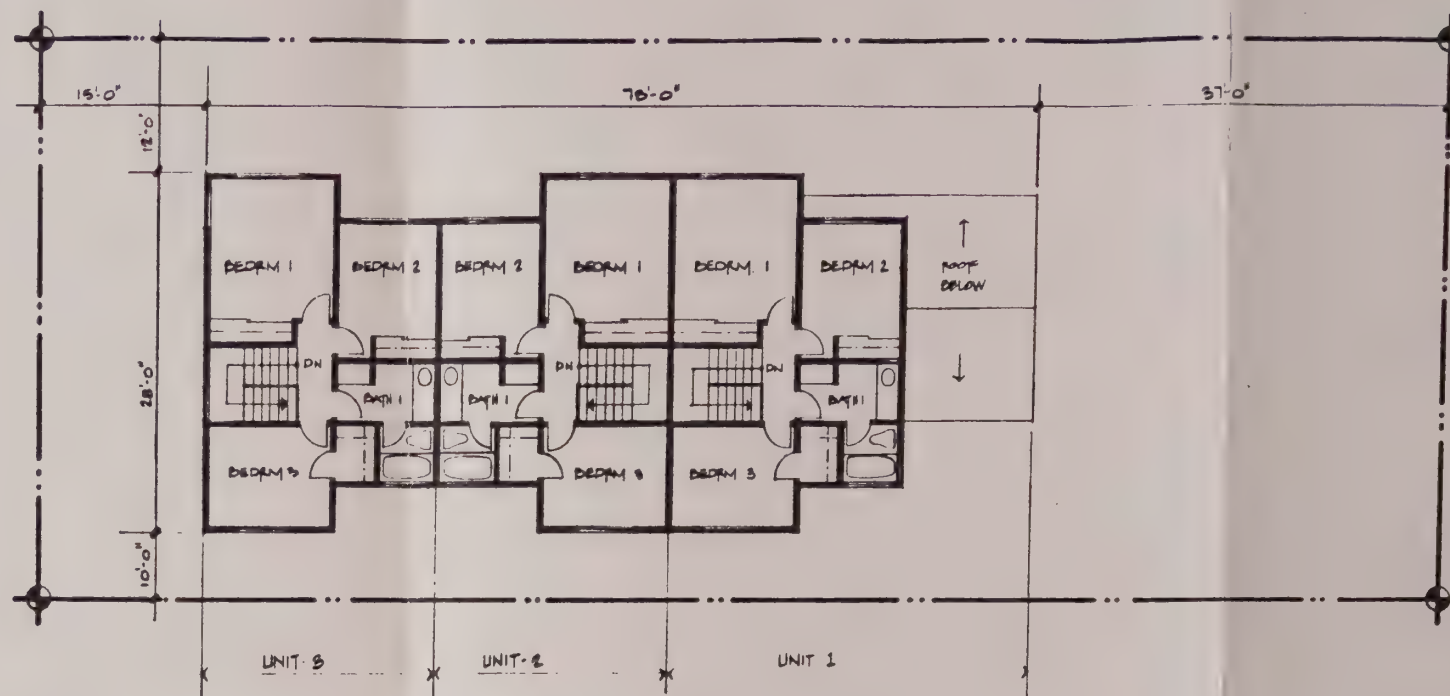
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Of: 4











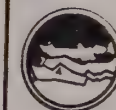
# SECOND FLOOR PLANS

scale 1/8" = 1'-0"



1812 FAIRVIEW

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 HARRY K. LIM - ARCHITECT & ASSOCIATES  
 2472 ADRIAN STREET, BERKELEY, CA 94704 (415) 845-7455



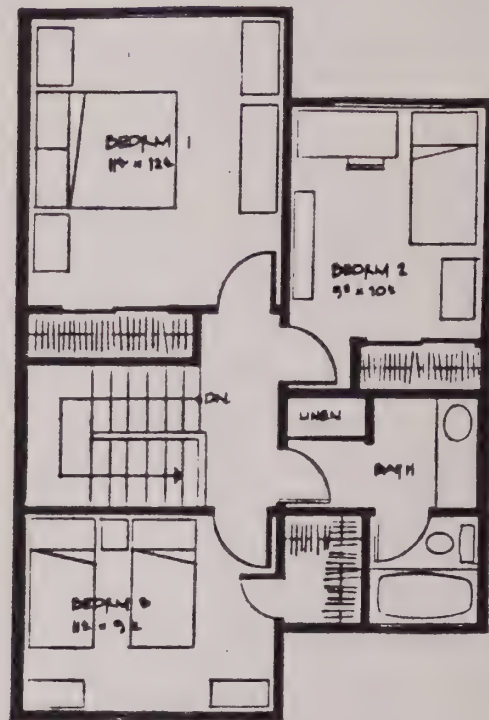
City of Berkeley

Rental Housing Construction Program

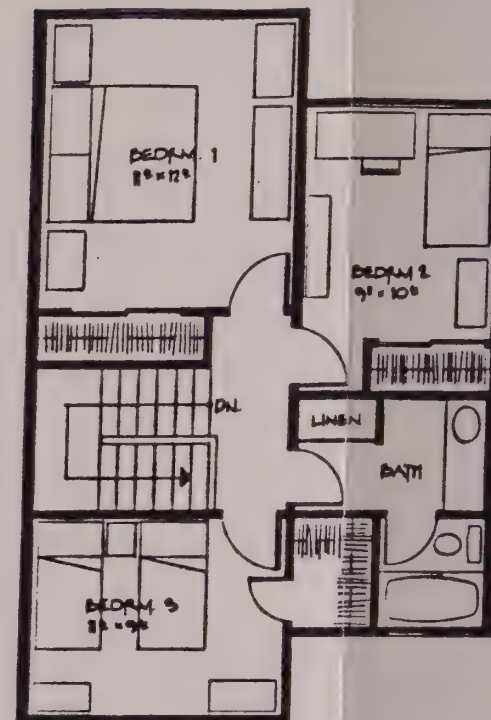
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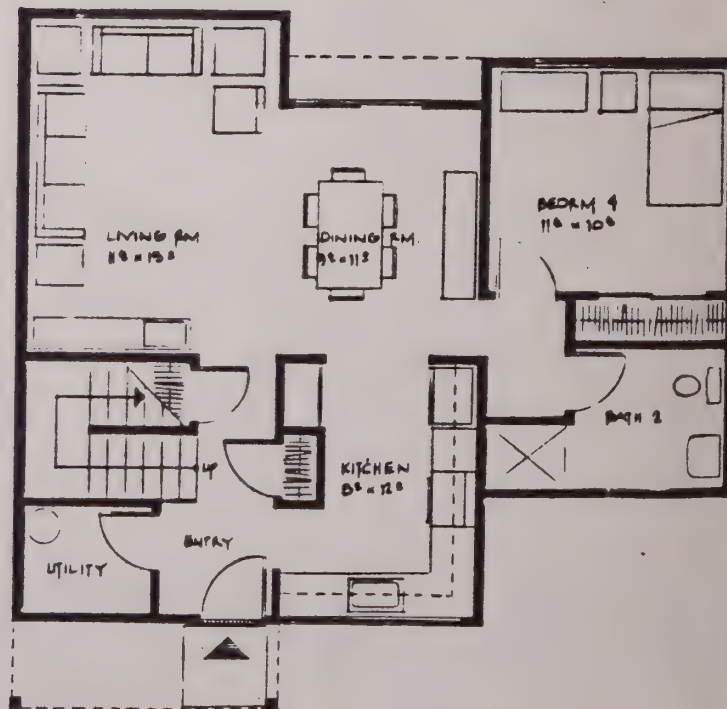




SECOND FLOOR PLAN



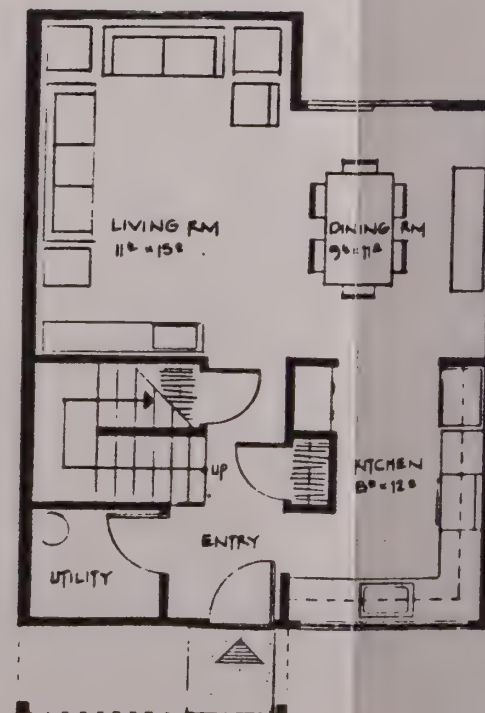
SECOND FLOOR PLAN - TYP.



FIRST FLOOR PLAN - 4 BR. UNIT

SCALE: 1/4" = 1'-0"

UNIT # 1  
GROSS AREA: 1875 S.F.



FIRST FLOOR PLAN - 3 BR. UNIT - TYP.

SCALE: 1/4" = 1'-0"

UNITS # 3 - UNIT # 2 OPP. HAND  
GROSS AREA: 1150 S.F./UNIT

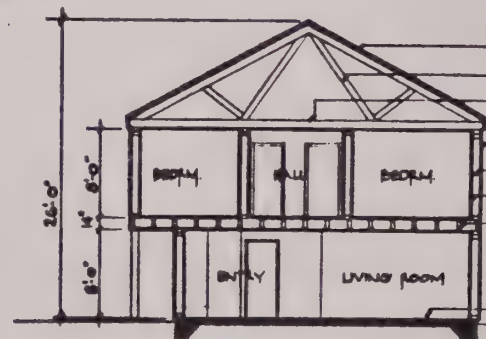






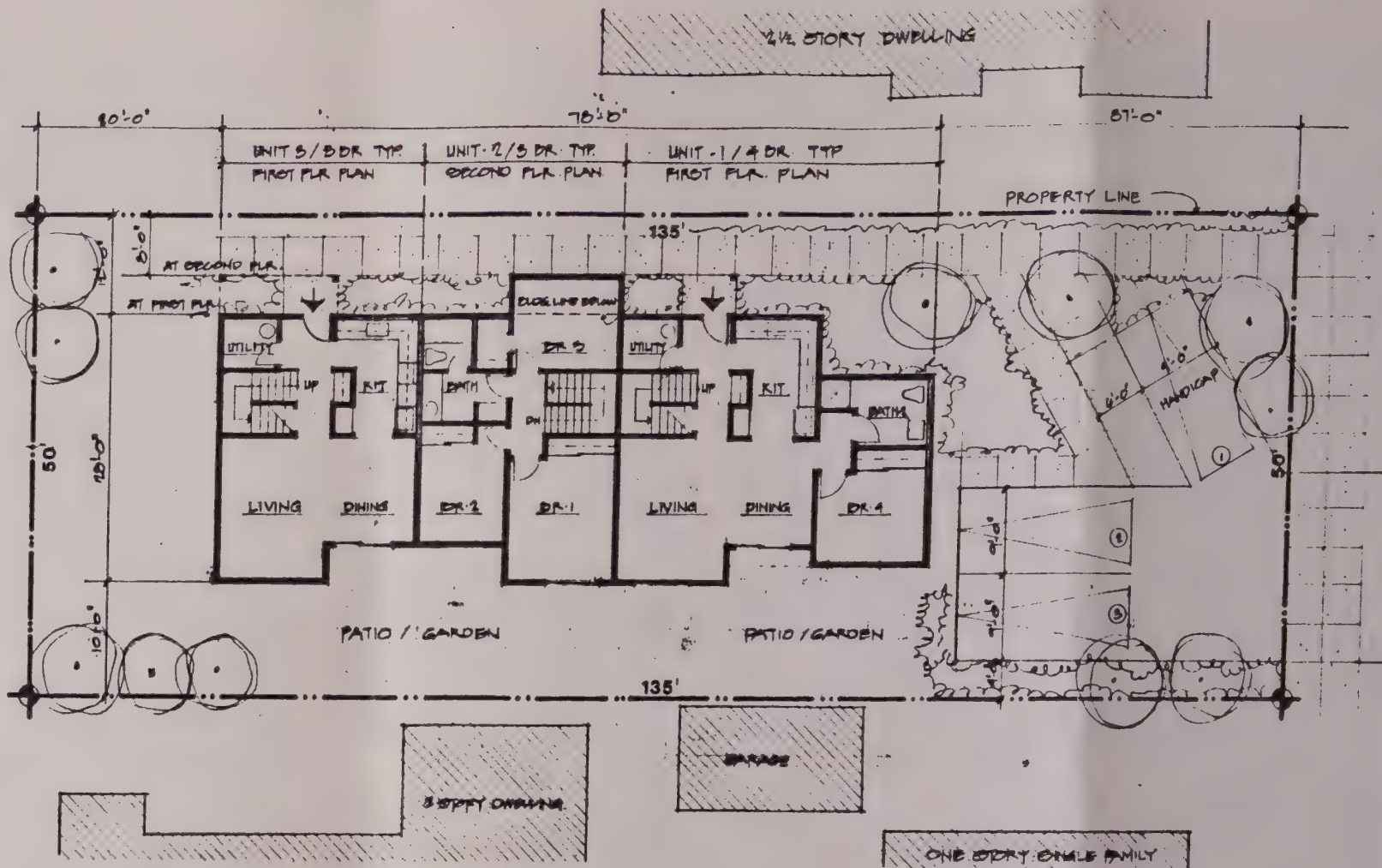


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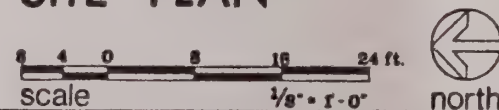


BUILDING SECTION 1/8" = 1'-0"

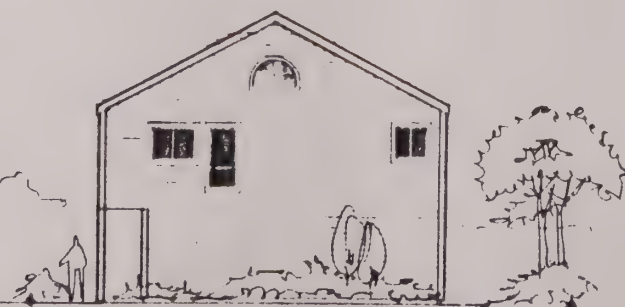
- ASPHALT SHINGLES ON 5/8" PLYWD.
- 92' LONG PINK TRUSSES @ 24" o.c.
- R-19 CEILING INSULATION
- 1/2" HARDBOARD SIDING
- 24" x 8" x 24" o.c. w/ R-11 INSULATION
- 3/8" GYPHUM BOARD
- 2" x 6" FLOOR TRUSSES @ 24" o.c.
- 4" CONCRETE SLAB



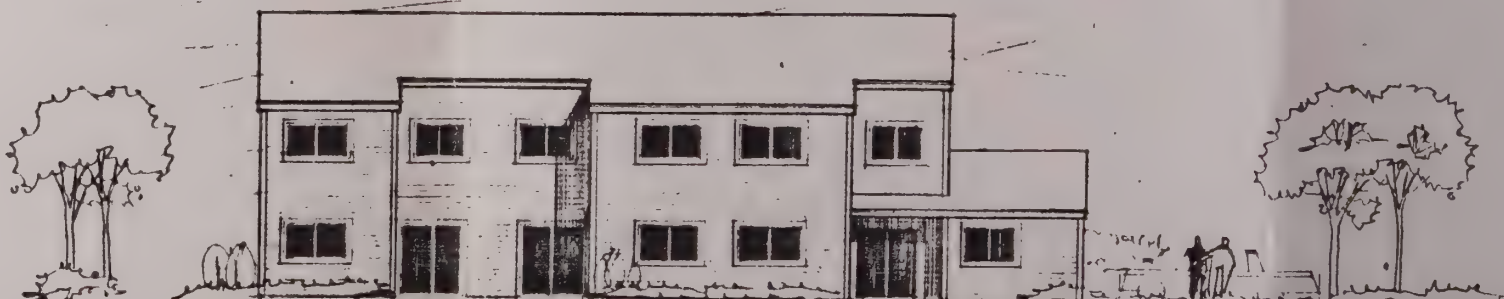
SITE PLAN



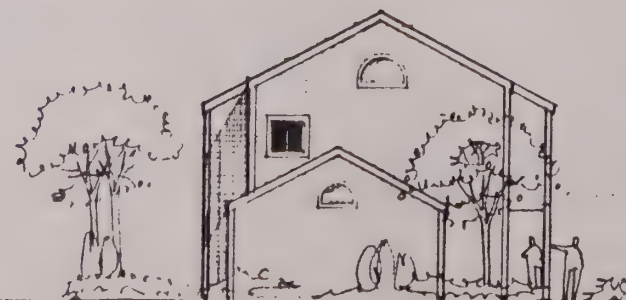
1605 STUART



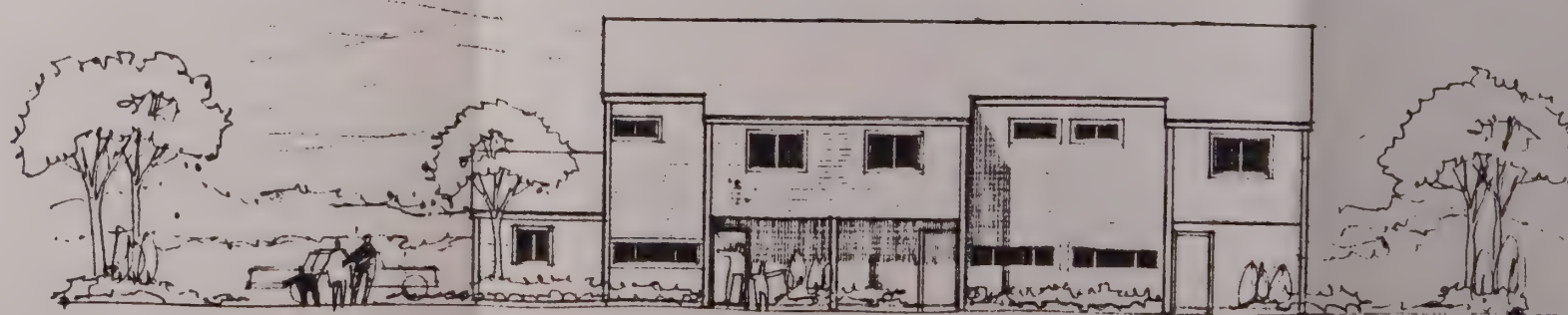
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

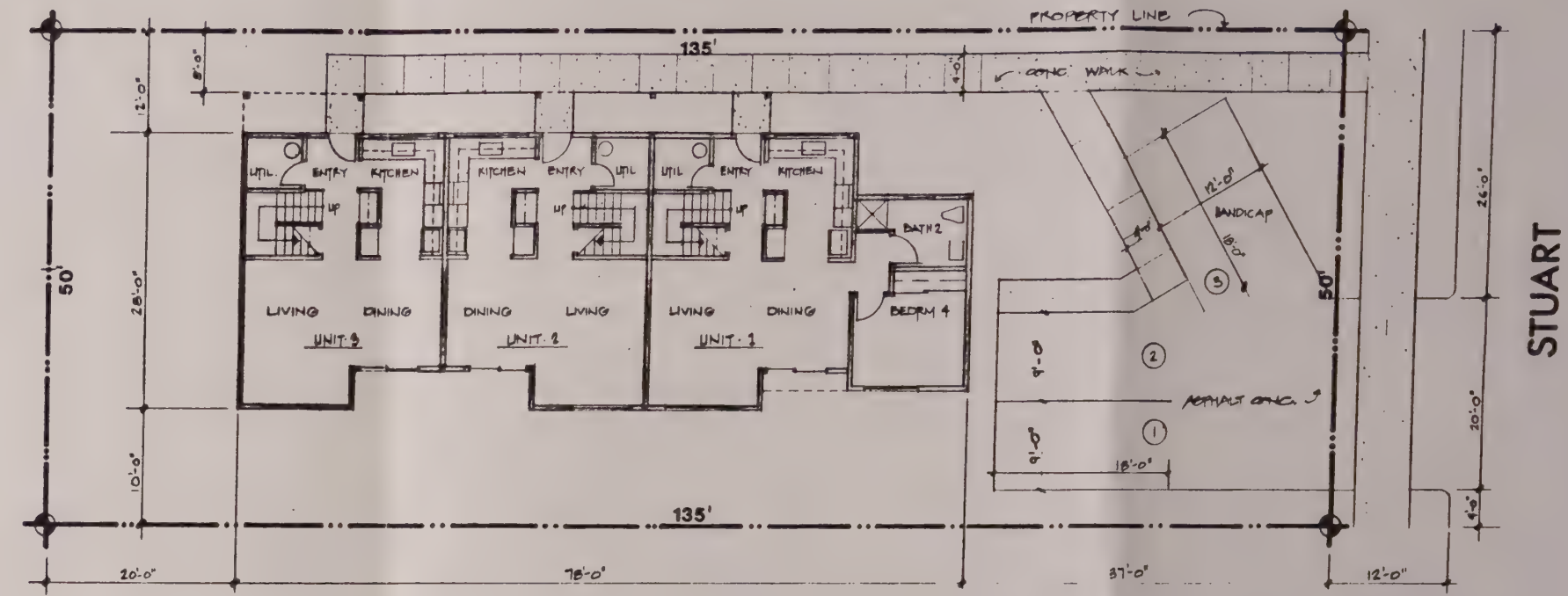


EAST ELEVATION

STUART

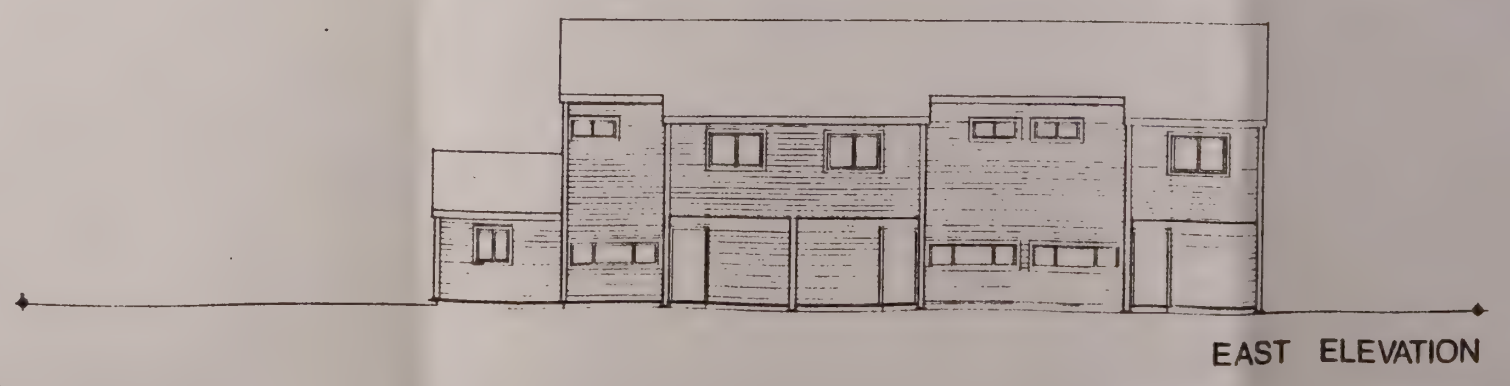
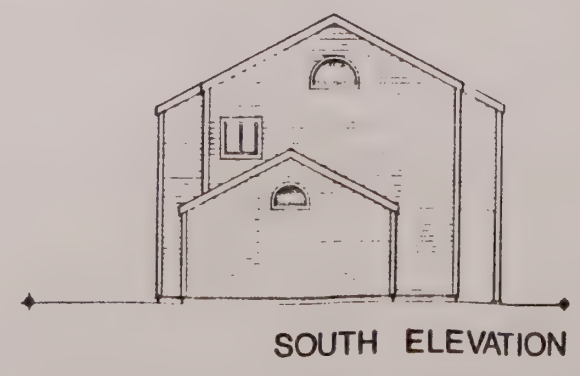
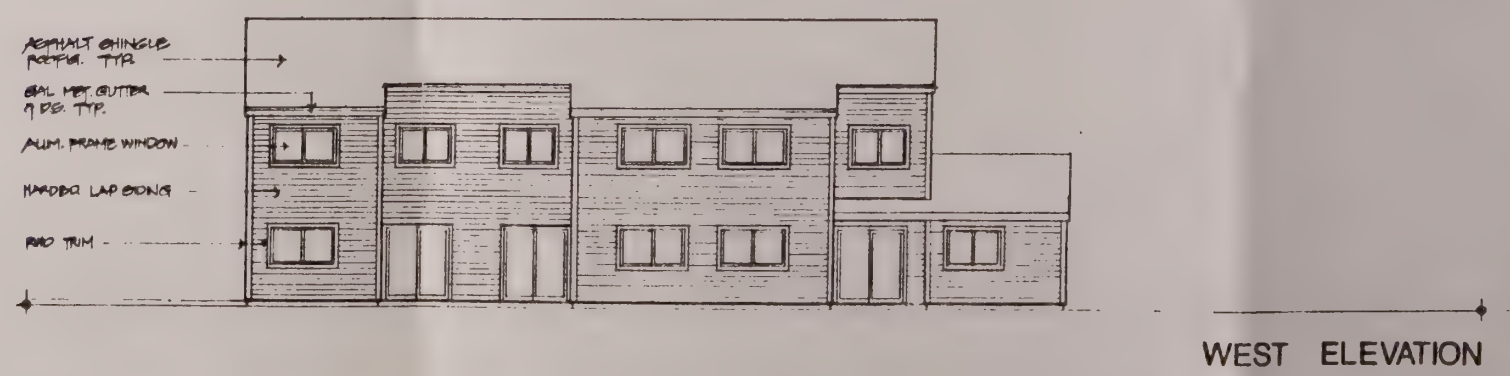
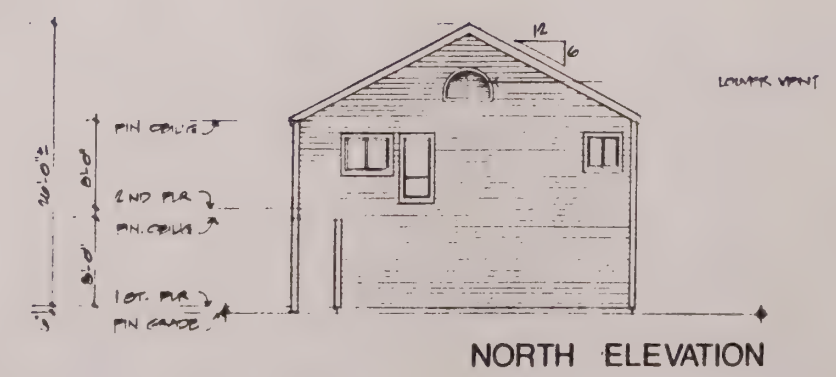
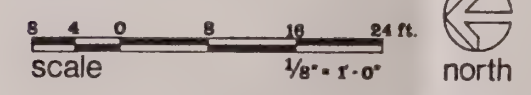




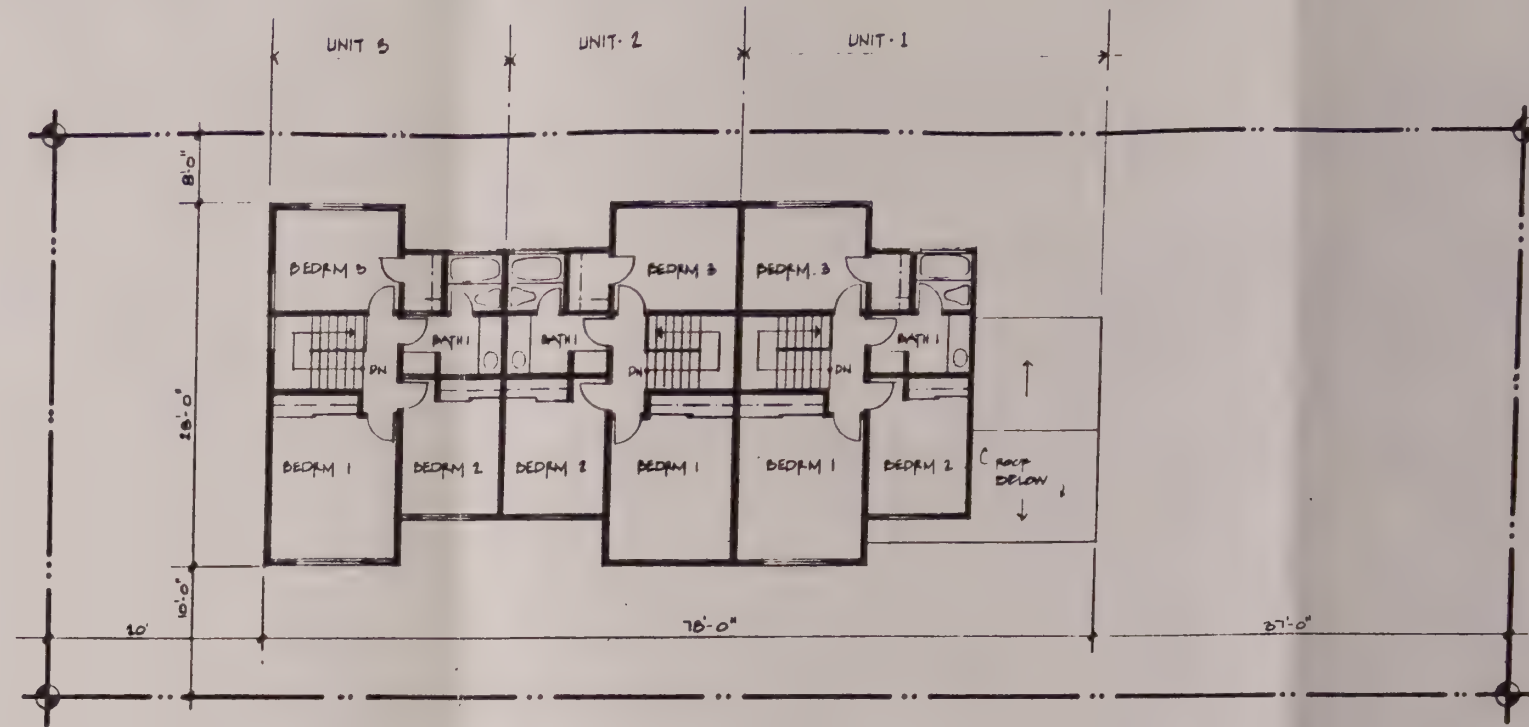


# FIRST FLOOR PLANS SITE PLAN

1605 STUART







# SECOND FLOOR PLANS

8 4 0 8 16 24 ft.  
scale 1/8" = 1'-0"



1605 STUART

REVISIONS  
HARRY K. LIM - ARCHITECT & ASSOCIATES  
2972 ADRIAN STREET BERKELEY CA 94703 415-845-2455



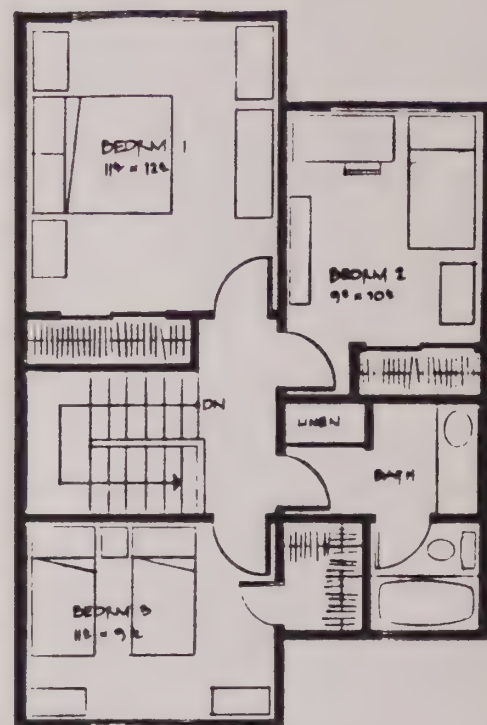
City of Berkeley

Rental  
Housing  
Construction  
Program

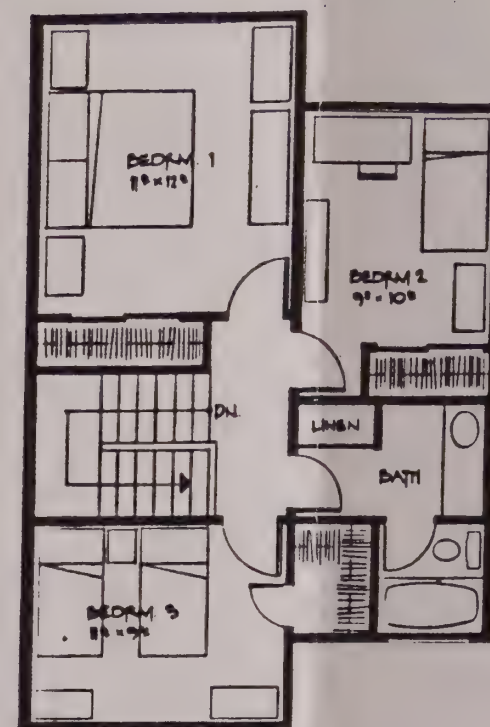
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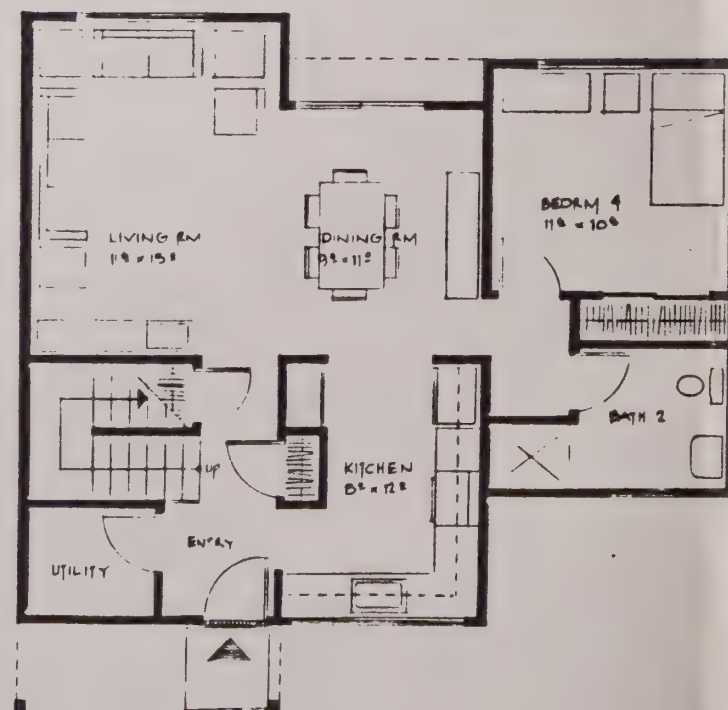




SECOND FLOOR PLAN



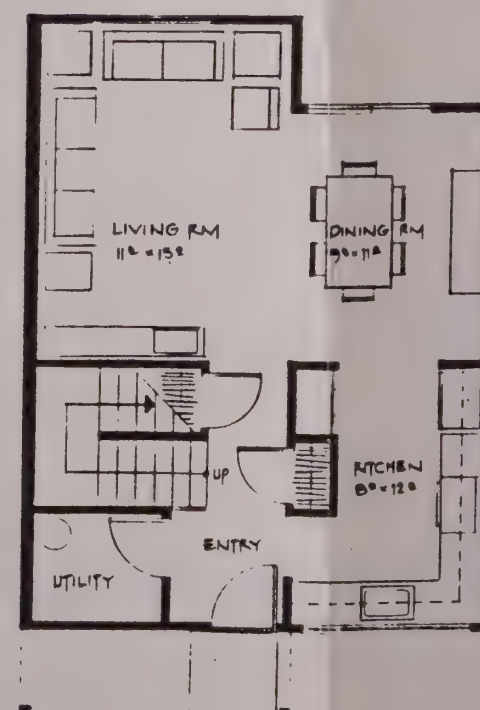
SECOND FLOOR PLAN - TYP.



FIRST FLOOR PLAN - 4 BR. UNIT

SCALE: 1/4" = 1'-0"

UNIT #1  
GROSS AREA: 1375 SF



FIRST FLOOR PLAN - 3 BR. UNIT - TYP.

SCALE: 1/4" = 1'-0"

UNIT #3 - UNIT #2 OP. HAND  
GROSS AREA: 1150 SF./UNIT

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1605 STUART

Job	0134
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Sheet	4

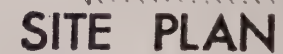






- ASPHALT SHINGLES ON 3/8" FLYER
- 2" LONG PINK TRUSSES @ 24" a.c.
- R-19 CELLULOSE INSULATION
- 1/2" HARDBOARD SIDING
- 2x4's @ 24" a.c. w/ R-11 INSULATION
- 3/8" GYPSUM BOARD
- 3x6 FLOOR TRUSSES @ 24" a.c.

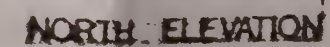
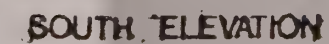
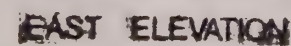
- 4" CONCRETE SLAB



0 4 8 16 24 ft.  
scale  $\frac{1}{8}" = 1'-0"$

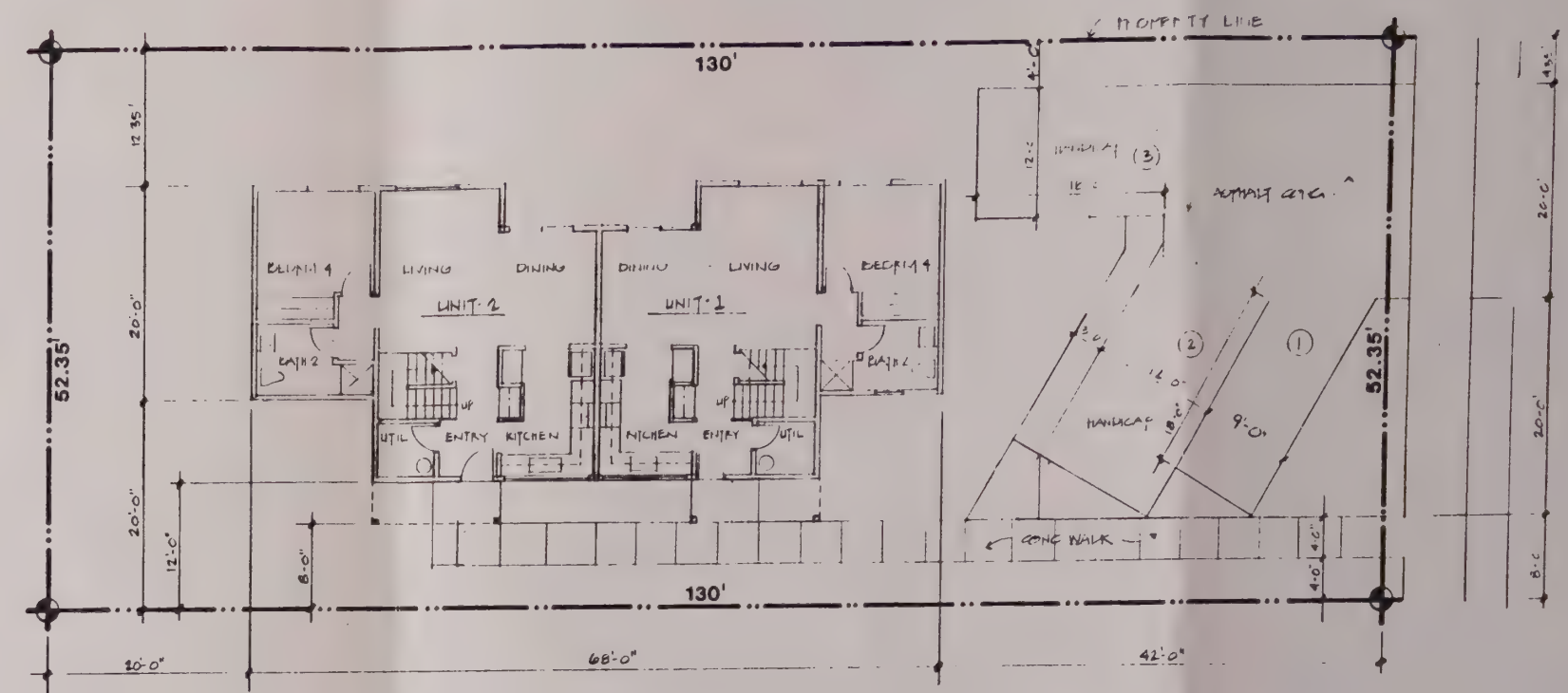


2231. EIGHTH





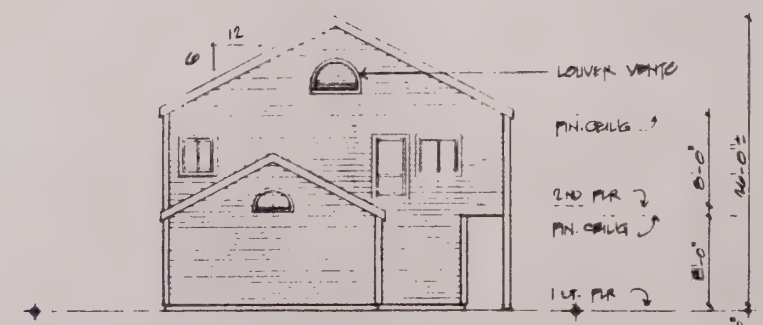
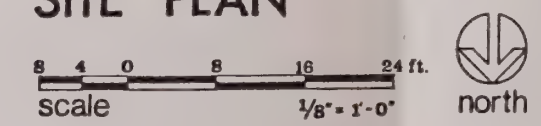




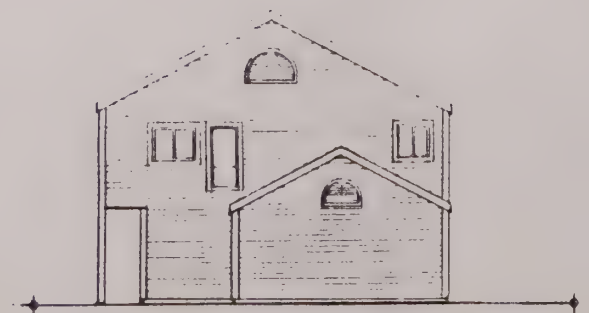
EIGHTH ST.

FIRST FLOOR PLANS  
SITE PLAN

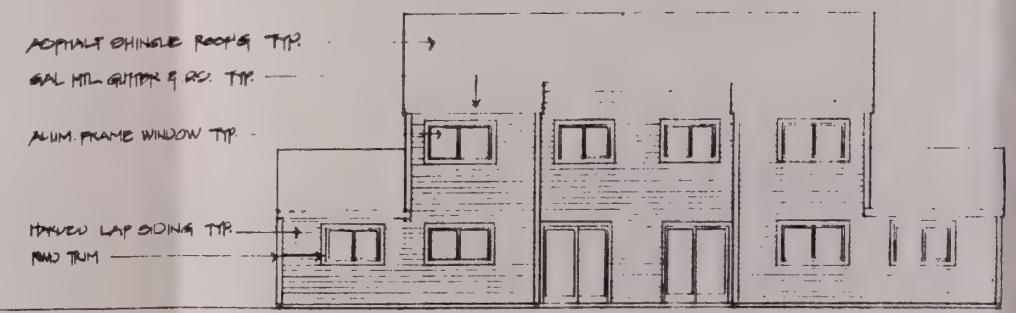
2231 EIGHTH



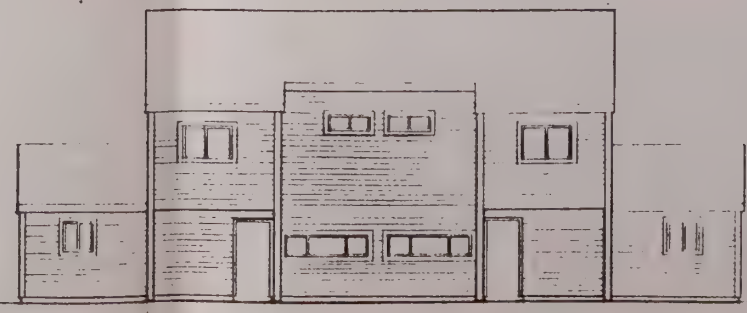
EAST ELEVATION



WEST ELEVATION



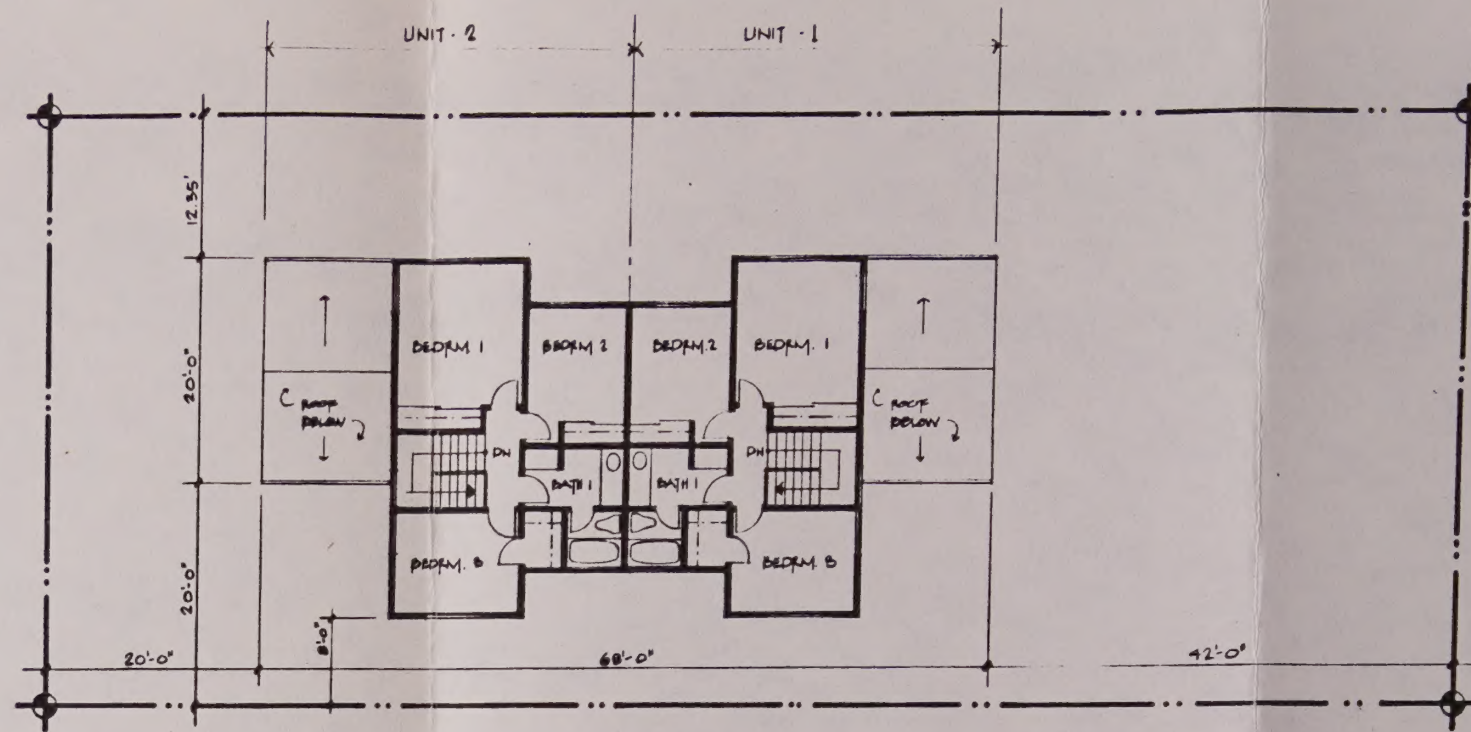
SOUTH ELEVATION



NORTH ELEVATION







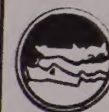
# SECOND FLOOR PLANS

scale 1/8" = 1'-0"



2231 EIGHTH

HARRY K. LIM - ARCHITECT & ASSOCIATES  
2472 AVENUE STREET, BERKELEY, CA 94704 AND 94705



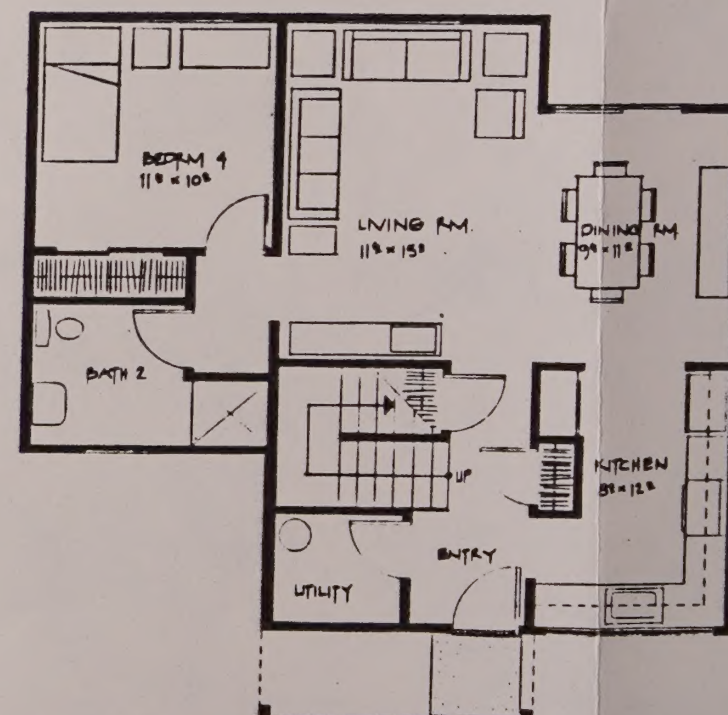
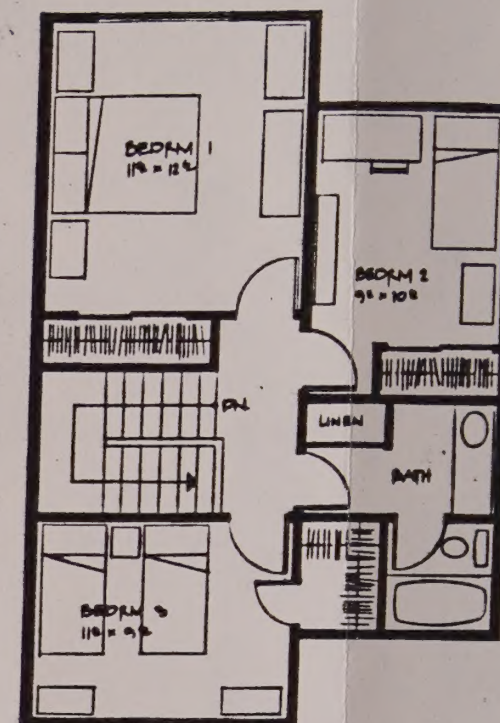
City of Berkeley

Rental Housing Construction Program

Arch	01/24
Scale	
Drawn	
Rev	1-10-82
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Of	4







FIRST FLOOR PLAN - 4 BR. UNIT - TYP.

UNIT #2. (UNIT #1 OPP. HAND)  
GROSS AREA: 1875 S.F./UNIT

U.C. BERKELEY LIBRARIES



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